



**DOWNTOWN REVIEW BOARD
MEETING AGENDA**

**WEDNESDAY, November 4, 2015
8:30 A.M.**

**CITY HALL - COUNCIL CHAMBERS
107 NORTH NEVADA AVENUE
COUNCIL CHAMBERS, SUITE 325
COLORADO SPRINGS, CO 80903**

In accord with the Americans with Disabilities Act of 1990 ("ADA"), the City of Colorado Springs will not discriminate against qualified individuals with disabilities. Should you require an auxiliary aid and/or service to participate in an upcoming Downtown Review Board meeting, please contact the Land Use Review offices at (719) 385-5905 as soon as possible but no later than 48 hours before the scheduled monthly meeting so that we can do our best to accommodate your needs.

DOWNTOWN REVIEW BOARD MEETING PROCEDURES

The Downtown Review Board will hold their regular meeting on **Wednesday, November 2, 2015 at 8:30 a.m** in the Council Chambers of City Hall located at 107 North Nevada Avenue, Colorado Springs, Colorado 80903.

The Consent Calendar will be acted upon as a whole unless a specific item is called up for discussion by a Board Member, a City staff member, or a citizen wishing to address the Downtown Review Board.

When an item is presented to the Downtown Review Board the following order shall be used:

- City staff presents the item with a recommendation;
- The applicant or the representative of the applicant makes a presentation;
- Supporters of the request are heard;
- Opponents of the item will be heard;
- The applicant has the right of rebuttal;
- Questions from the Board may be directed at any time to the applicant, staff or public to clarify evidence presented in the hearing.

APPEAL INSTRUCTIONS

If you do not agree with a decision of the Downtown Review Board and wish to appeal that decision you must do so by filing an appeal with the City Clerk's Office (located at 30 S. Nevada Avenue, Colorado Springs, CO 80903) no later than ten (10) days after the hearing date. Accordingly any appeal relating to this Downtown Review Board meeting must be submitted to the City Clerk by 5pm on:

Monday, November 16, 2015

The appeal letter, along with the required \$176 fee, should address specific code and/or regulating plan requirements that were not adequately addressed by the Downtown Review Board. City Council may elect to limit discussion at the appeal hearing to the matters set forth in your appeal letter. Unless a request for postponement is made, City Council will hear the appeal at its next regular meeting occurring at least nineteen (19) days after the Downtown Review Board meeting (Zoning Code Chapter 7.5.906).

DOWNTOWN REVIEW BOARD MEETING AGENDA

- 1. APPROVAL OF THE MINUTES** – Minutes from the September 2, 2015 Meeting
- 2. COMMUNICATIONS** – Ryan Tefertiller, Land Use Review Manager
- 3. CONSENT CALENDAR** – No Items
- 4. NEW BUSINESS CALENDAR** –

File NO.: CPC DP 15-00094

A request by N.E.S. Inc. on behalf of the United States Olympic Museum for approval of the U.S. Olympic Museum project. The development plan illustrates the construction of a three-story, 59,030 square foot civic building on the west side of S. Sierra Madre St. at the western terminus of W. Vermijo Ave. The proposed building will require warrants from the Form-Based Zone's building envelop, signage, and public space standards. The property is approximately 1.663 acres in size and is zoned FBZ-CEN (Form-Based Zone – Central Sector)

Quasi-Judicial

NEW BUSINESS CALENDAR

DOWNTOWN REVIEW BOARD AGENDA

ITEM NO: 4

STAFF: RYAN TEFERTILLER

FILE NO:
CPC DP 15-00094 – QUASI-JUDICIAL

PROJECT: UNITED STATES OLYMPIC MUSEUM

APPLICANT: N.E.S. INC.

OWNER: UNITED STATES OLYMPIC MUSEUM



PROJECT SUMMARY:

1. **Project Description:** This proposal is to construct a new three-story, 59,030 square foot civic building to serve as the United States Olympic Museum. The proposed project redevelops multiple underutilized parcels in the Southwest Downtown urban renewal area and will serve as a major catalyst for investment and growth in this part of downtown Colorado Springs. The site is zoned FBZ-CEN (Form-Based Zone – Central Sector) which requires compliance with the form-based standards included in the Downtown Colorado Springs Regulating Plan. The proposed project requires three Form-Based Zone warrants for relief from the following standards: 1) Section 2.3.3. Building Envelope; 2) Section 2.8 Public Spaces; and 3) Section 2.9 Signage. The project is to be located on the northern lot of a two-lot subdivision plat which is being processed administratively.
2. **Applicant's Project Statement:** **(FIGURE 1)**
3. **Planning & Development Team's Recommendation:** **Approval of the application with technical modifications.**

BACKGROUND:

1. **Site Addresses:** Multiple: 228 W. Cimarron St., 400 and 402 S. Sierra Madre St.
2. **Existing Zoning/Land Use:** FBZ-CEN (Form-Based Zone – Central Sector) / The site is made up of multiple storage and industrial buildings. **(FIGURE 2)**
3. **Surrounding Zoning/Land Use:**
North: FBZ-CEN (Form-Based Zone – Central Sector) / vacant, office and rail yard uses
South: FBZ-CEN (Form-Based Zone – Central Sector) / warehouse, automotive, and other light industrial uses
East: FBZ-CEN (Form-Based Zone – Central Sector) / vacant warehouse and similar uses
West: FBZ-CEN (Form-Based Zone – Central Sector) / rail yard and vacant uses (America the Beautiful Park is roughly 400 feet to the west of the site)
4. **Comprehensive Plan/Designated 2020 Land Use:** Regional Center
5. **Annexation:** Town of Colorado Springs, 1872
6. **Master Plan/Designated Master Plan Land Use:** Imagine Downtown Master Plan (2009) / Activity Center
7. **Subdivisions:** Currently unplatted; under review for subdivision plat
8. **Zoning Enforcement Action:** None
9. **Physical Characteristics:** The site is currently developed as a number of warehouse and light industrial buildings; the site is relatively flat with a modest slope from east to west.

STAKEHOLDER PROCESS AND INVOLVEMENT:

Fifteen surrounding property owners were notified of the proposal shortly after the application was submitted. That notification provided instructions of how to review the proposed project as well as how to submit comments to the City. Staff received only one formal comment in response to the original notification and proposal **(FIGURE 3)**. All applicable City agencies and departments were asked to review and comment and all concerns are incorporated into the required modifications listed at the conclusion of this report. Prior to the Downtown Review Board hearing, the site will be posted and postcards mailed once again.

ANALYSIS OF REVIEW CRITERIA AND MAJOR ISSUES

The site of proposed United States Olympic Museum is located to the south and west of the downtown core in an area that has historically been utilized for industrial and warehouse and distribution uses due in large part to its adjacency to the City's largest rail yard. The proposed museum will sit on a roughly 1.63 acre lot which currently includes two vacant industrial buildings, but is surrounded by similar vacant or under-utilized light industrial, office, and vacant properties.

The subject property and the surrounding area have long been the focus of redevelopment planning efforts. In 2001 roughly 100 acres of land to the west of Cascade Ave., north of Cimarron St., east of I-25 and spanning both sides of Colorado Ave. were designated as the Southwest Downtown Urban Renewal

area by City Council. Often referred to as Palmer Village, the area was planned to include a mix of high density residential, performing arts, entertainment, commercial, high-density office, and lodging uses as well as a significant park component (**FIGURE 4**). Unfortunately, the only portion of that plan that came to fruition was America the Beautiful Park – a roughly 15 acre park adjacent to the east bank of Monument Creek just north of its confluence with Fountain Creek. Other recent projects that were discussed but never fully pursued in the Southwest Urban Renewal Area included: a new downtown transit station, the Colorado Springs Public Market, a significant hotel project by John Q. Hammons, and multiple high density residential projects.

Moving beyond past disappointments, the largest land owner in the area, the Nor'Wood Development Group, has assembled land and interests, and joined together with the United States Olympic Museum, a 501(c)(3) non-profit organization, to pursue the proposed project. According to the Museum's website, the museum will "house the artifacts, media and technology that embody the Olympic and Paralympic movements. It will take visitors on a journey through the personal struggles and career-defining moments of Team USA's dedicated athletes, and it will use interactive experiences to immerse visitors in the exhilaration of competition." Additionally, the nearly 60,000 square foot building will be home to the United States Olympic Hall of Fame, will include a public café and gift shop, and will be architecturally and functionally connected to the America the Beautiful Park by a future pedestrian bridge over the adjacent rail yard. See **FIGURE 5** for the proposed development plan.

In addition to the excitement and activity that the proposed use will create, the building itself will serve as a new landmark to Downtown and the City itself. Designed by Diller Scofidio + Renfro (DS+R), based in New York City, the contemporary metal and glass spiral shaped building will be an icon for the Pikes Peak region. The Museum, adjacent landowners, downtown stakeholder organizations, and City leadership all believe that the proposed museum will be the catalyst that is needed to finally spur the redevelopment of Southwest Downtown.

While few will argue that the project will benefit the properties surrounding the site and downtown as a whole, the project was still required to comply with the Downtown Colorado Springs Form-Based Code and the development plan review process. Given the uniqueness of the building and current context of the site staff has identified the need for three form-based warrants: 1) relief from Section 2.3.3. Building Envelope; 2) relief from Section 2.8 Public Spaces; and 3) relief from Section 2.9 Signage.

Any project that requires relief from a standard must gain approval of a warrant by the Downtown Review Board. Warrants are reviewed using the five criteria found in Section 5.4 of the Form-Based Code. The criteria are:

1. Is the requested warrant consistent with the intent of the form-based code?
2. Is the requested warrant, as well as the project as a whole, consistent with Section 4 – Design Guidelines of the form-based code?
3. Is the requested warrant reasonable due to the proposed project's exceptional civic or environmental design?
4. Is the requested warrant consistent with the Imagine Downtown Master Plan?
5. Is the requested warrant consistent with the City's Comprehensive Plan?

As illustrated in **FIGURE 5**, the proposed building is irregular shaped and includes a significant public plaza along its primary frontage. Although the Form-Based Code's building envelope standards require buildings in the Central Sector to be located along the front property line for the majority of the lot's width, the proposed plaza is an important design element and provides significant functionality for public events. One concept that has been widely discussed is the hope to utilize a portion of the plaza for an outdoor skating rink in the winter to replace the rink that has been constructed in Acacia Park over the last couple years. The plaza, together with adjacent public spaces, could also serve as the new location of the Olympic Festivals that have been organized recently downtown to coincide with the opening ceremonies of the games every two years. The proposed building envelope relief is clearly justified by the building's exceptional civic design as well as compliance with the other four criteria.

While the design of the proposed plaza is easily justified when evaluating the requested relief from the Code's building envelope standards, relief from Public Space standards are slightly more complex. The applicant, the Museum, surrounding land owners, downtown stakeholders including the Downtown Partnership and the Downtown Development Authority, and City leaders all agree that a high quality streetscape is essential to the proposed project and the surrounding area's redevelopment. However, all parties also agree that a unique design that sets the area apart from the Tejon St. corridor is also preferable. The Form-Based Codes Public Spaces standards found in Section 2.8 of the regulating plan call out traditional concrete sidewalks, brick-paved amenity zone, metal tree grates, and standard acorn-head light poles. While those design elements work well throughout much of Downtown, the subject site and proposed project justify alternative designs. However, the exact details of the streetscape design are still evolving leaving the development plan to illustrate and label fairly vague "concrete pavers" along the S. Sierra Madre frontage. The plan also illustrates that the S. Sierra Madre St. roadway will become a "raised table top" intersection improving the ability to use the area for special events and improving the connection between the plaza, the building and the streetscape. The City continues to work diligently with project designers and partners to identify a streetscape design that will best serve the area.

The last of the three warrants that are required for the project is relief from the City's sign standards. While most stakeholders agree that downtown signage may justify unique standards that differ from the rest of the City, when the Form-Based Code was adopted in 2009 staff deferred specific sign standards to a future code update. Therefore, when unique projects or sign designs are proposed, the Downtown Review Board must evaluate and support relief in the form of a warrant. Numerous sign warrants have been granted by the Board in recent years to support projects like the Gazette's proposed wall-mounted news ticker, and Couture's Bistro's use of their historic sign. While the exact size, location, and design of the Museum's signs are not finalized, there is the general understand that relief will be necessary. City code ties sign allocation to the use of the property, and as a "civic" use free-standing signage is limited to one 7-foot tall free-standing sign no larger than 64 square feet in size. The applicant and project partners believe that additional signage will be needed and justified for the project, and while the details are still being developed, the proposed project includes the request to have as many as two free-standing signs not to exceed 8 feet in height and totally no more than 300 square feet in size. Given the 8 foot high limitation, the proposed allocation of 300 square feet seems excessive. Essentially, the proposed thresholds would allow two free-standing signs both of which being nearly 19 feet wide by 8 feet tall. After discussing this concern with the applicant it was agreed that the sign note on the development plan be revised to change the maximum sign size from 300 square feet to 200 square feet. When considering the proposed use, the likely design of the signs, and the fact that if the proposed project were considered a "commercial" use instead of a "civic" use the maximum sign allocation would increase to allow one freestanding sign up to 30 feet tall and as large as 150 square feet in size.

While each warrant has been independently evaluated using the required criteria, there is also value in evaluating the project as a whole using the same criteria. There are a number of statements within Section 1 of the Form-Based Code that communicate the intent of the standards. Specifically, the code states that "it is designed to guide the development of a lively, mixed-use, pedestrian-friendly downtown," it is "intended to create safe, attractive street-life and pedestrian comfort," and "remove barriers to revitalize Downtown Colorado Springs." The proposed Olympic Museum project is consistent with all the goals of the Form-Based Code.

Section 4 of the Form-Based Code includes a number of design guidelines that must be evaluated when warrants are necessary. While the proposed building is architecturally unique, the building and the proposed site design still clearly comply with many of the required guidelines. Specifically, the proposed project is highly compliant with the following design guidelines: encroachments, architectural detail, double frontage, services, parking, hardscape, public plazas, and likely signage (once sign details are finalized).

As described above, the proposed project clearly meets the criteria to include exceptional civic or environmental design. The DS+R designed building will be an architectural icon for the entire region. The proposed plaza and future pedestrian bridge will provide civic benefits that improve the entire southwest region of downtown. Furthermore, given that the building will serve both the United States

Olympic and Paralympic movements the project partners are aiming to make it the most accessible building in the United States. These efforts undoubtedly qualify as exceptional civic design.

The Imagine Downtown Master Plan identifies the subject property as part of the “core” district. The plan describes the core planning district as featuring uses of every type with high densities, an iconic skyline, and “one of” arts, cultural, and entertainment uses that are found nowhere else in the region. Projects in the core are encouraged to create pedestrian and bicycle connections including a “pedestrian overpass at the end of Vermijo, over the railroad tracks and into America the Beautiful Park.” The proposed museum site also is identified as being at the convergence of two “pedestrian streets” (Vermijo and Sierra Madre) and while their current character isn’t very supportive of the pedestrian, the proposed project together with future streetscape improvements will move this area toward a vastly improved pedestrian environment.

The project is also highly compliant with the City’s Comprehensive Plan. The redevelopment of underutilized urban property in the heart of the City is also a key goal of the City’s Infill Steering Committee which is currently finalizing goals and strategies to promote infill projects. The proposed use will very likely create synergy in the area for other private investment in high density, mixed-use projects that are also well aligned with the City’s Comprehensive Plan.

As described above, the project as submitted does not meet three form-based standards: 1) Section 2.3.3. Building Envelope; 2) Section 2.8 Public Spaces; and 3) Section 2.9 Signage. After careful consideration, Staff has determined that the required warrant criteria are substantially met and once the technical modifications described at the conclusion of this report are addressed, the plan should be approved.

Public Improvements: Although not part of this application, it is worth noting that Nor’Wood and the Museum have been collaboratively working with the City (including Planning, Parking, Public Works and Parks) on the design of Vermijo Street, Sierra Madre Street, the pedestrian/bicycle bridge connecting the Museum site with America the Beautiful Park, and a public parking structure. It is likely that some level private-public partnership will be necessary to fund these off-site improvements. The improvements will be constructed separately from the Museum, but are planned to be completed in time for the opening of the Museum in January 2018.

STAFF RECOMMENDATION:

ITEM NO: 4 CPC DP 15-00094 – United States Olympic Museum

Approve the proposed development plan and three warrants (for relief from building envelope, public space, and signage) based on the findings that the warrant criteria found in Section 5.4 of the Downtown Colorado Springs Form-Based Code will be substantially met once the following technical modifications are made:

Technical Modifications to the Development Plan:

1. Modify the signage warrant note on sheet 1 of the plan to indicate the maximum cumulative signage allocation for the project is 200 square feet and that typical sign allocations for this site are based on the building being a “civic building” not on C6 zoning.
2. Finalize the site’s address gaining acceptance from E911 and Enumerations; update the plan’s site data to reflect the new building address.
3. Add notes detailing the use of the plaza area for public and private uses; should a public benefit agreement be utilized, the plan should note the details of the agreement.
4. Add a note to the plan indicating that the Planning and Development Department shall review and accept the final public space improvement designs.
5. Modify the photometric plan to better communicate the proposed lighting fixture locations and intensities.
6. Add a note indicating: “As may be required per CSU Regulations, the 2-inch gas main in the vicinity of the proposed storm drain to be relocated by CSU subject to project owners' execution of CSU's T&M contract.”

7. Modify the cross-section to show the 2-inch gas main relocated parallel to and west of the 150# gas main with 4 feet of horizontal clearance; and show the proposed storm drain parallel to and west of the relocated 2-inch gas main with 6 feet of horizontal clearance. This should allow for approximately 10 feet clearance between the existing 30-inch wastewater main and the proposed storm drain.
8. Add note indicating: "As may be required per CSU Regulations, the electric vault (near the northwest corner of Sierra Madre and the proposed service drive) to be relocated by CSU subject to project owners' execution of CSU's T&M contract. Such relocation project does not qualify for the System Improvement Fund."
9. Add note indicating: "As may be required per CSU Regulations, a lowering of the 150# gas main will be required to provide 5 feet of vertical clearance between the proposed storm-drain crossing of the 150# gas main."
10. Modify the development plan to note the maintenance responsibilities for the public trail easement.
11. Modify the plan's Fire Access details to meet hose lay requirements and provide consistency with other plan sheets.
12. Provide note and details to ensure that the pavers along the east side of the building meet Fire Department loading requirements.
13. Revise sheet 4 of the plan to clarify that Type 1 curb and gutter will not be used along the raised "table top" area.
14. Revise the plan to illustrate required fire lane locations.

Project Description

United States Olympic Museum

Sierra Madre and Vermijo Avenue



The United States Olympic Museum, scheduled to open in 2018, will be the first and only facility of its kind in the United States, presenting a unique trove of media and images, artifacts and stories associated with the Olympic and Paralympic Games. Its vibrant mix of compelling video, highly interactive displays, eloquent objects, and immersive environments will offer an extraordinary experience available nowhere else. The 60,000sf interpretive museum will tell the inspirational stories of American Olympic and Paralympic athletes as well as the traditions of the global Olympic Movement.

Inspired by the movement of athletes, the United States Olympic Museum idealizes a sense of motion in the organization of its galleries, auditorium, and public areas across the site. Expressed in two parts of one body in counterpoise, the building frames a new downtown public plaza below the view of Pike's Peak, and extends a new axis to the America the Beautiful Park west. The primary southern building dramatically spirals outward from its central atrium. Its outer skin shimmers in changing daylight as the building emerges from its seasonally shifting landscape.

Upon arrival, visitors are oriented within the central atrium at the museum's heart which soars upward toward daylight. After ticketing, visitors receive a media introduction while ascending the building in a large elevator-room. At the pinnacle, a picturesque view of the sprawling mountains open up, recalling the global settings of the Olympic Games and its ancient origins.

Touring the museum from the top, visitors descend through a sequence of galleries containing state-of-the-art interactive storylines: Introduction to the Olympic and Paralympic movements, Journey to Excellence, Athlete Training, Science and Technology Lab, Parade of Nations, At the Games, The Magic of Media, and a changing exhibits gallery. In each gallery, a scripted passage leads visitors out to the perimeter for views of the city and landscape, and back into the atrium to re-engage this active central space animated by daylight and visuals evoking excitement around future Olympic Games.

Upon completing the cycle of galleries, visitors arrive at the theater to experience a film of the greatest United States Olympic and Paralympic moments. In evenings, the theater will host lectures for the community along with special events. Finally, visitors pass through the Hall of Fame.

Connected to the lobby to the north are the Museum store and a café with an outdoor terrace. Outside, the landscape around the Plaza gently tips upward toward the site’s western edge, anchoring the building and creating three accessible pathways up to the future pedestrian bridge. The Plaza provides a terraced hardscape which host events throughout the seasons--outdoor film screenings, performances, ice skating and beach volleyball. The northern site is densely planted with native woodland and a variety of seasonal gardens, creating quieter experiences removed from the city. The southern site, around the museum building, is landscaped with planted areas and trees to screen building support elements.

Development Plan

The proposed United States Olympic Museum is located on 1.663 acres west of the intersection of South Sierra Madre Street and Vermijo Avenue in Colorado Springs, Colorado. All existing structures on the site will be razed in preparation for the construction of the Museum. The United States Olympic Museum will be 3 stories tall, 59,030 gross square feet, and contain 20,000 square feet of gallery space.

DEVELOPMENT DATA

| | |
|-------------------------|--|
| Property Address | TBD |
| Zoning | FBZ-CEN |
| Sector | Central |
| Site Area | 1.663 acres (72,440 s.f.) |
| Building Type | Civic |
| Building and Land Use | Civic |
| Building Height | 3 stories - 64' |
| Building Area | 59,030 S.F. |
| Frontage Type | Forecourt |
| Glazing | 78 % |
| Setbacks | |
| Front | 0' max (12' – 33' proposed, warrant requested) |
| Rear | 0' min |
| Side | 10' max (66' and 183' proposed, warrant requested) |
| Schedule of Development | Summer 2016 |
| Parking Requirement | Parking exempt |

Justification

The proposed Museum meets the standards and/or the intent of the standards as defined by the form-based code. The proposed United States Olympic Museum will be a significant addition to the fabric and revitalization of the southwest downtown area, as well as the downtown as a whole.

Warrants

2.3.3.3 Setbacks- Allow a 66' sideyard (south) and a 183' side yard (north) where a maximum of 10' side yard is required; and a 12' – 33' front yard setback (to foundation) where 0' is required. The setback

FIGURE 1

standards of the Form-Based Code were established to reinforce the typical fabric of development in the downtown area. The United States Olympic Museum, as a civic structure, is intended to have a unique identity and significant design presence

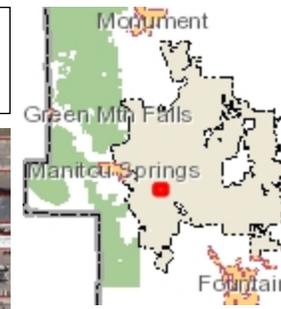
2.8.4 Amenity Zone- Allow for a reduction in the tree spacing, pedestrian light spacing and alternative materials. The museum will be a unique and iconic architectural structure within the downtown area. The proposed amenities associated with the Museum will reinforce this intent with a unique and complementary approach.

Revocable Permit Application

The proposed revocable permit application associated with the United States Olympic Museum is to allow for the encroachment of a roof overhang into the City right-of-way. The structure will encroach a maximum of 12'-6" into the air space (no surface encroachment) of the Sierra Madre Street right-of-way. The unique architecture proposed for the museum, in association with the depth of the lot, the width of Sierra Madre Street, and the railroad tracks to the west, result in this minor encroachment into the r.o.w.

Final Plat

The site is currently unplatted. A two lot subdivision is proposed, one lot for the museum site and a second lot to the south for future private development.



Legend

-  Parcels
-  Base Zone - Outline
-  National Forest
-  Parks
-  Military
-  Towns
-  County Boundary
-  Place Labels
-  Bus Stops
-  Hospitals
-  Schools
- Streets**
-  Interstate
-  Major Roads
-  Local Roads
-  Ramps
-  Trails_Parks
-  Trails_Urban_Paved
-  Trails_Urban_Gravel
-  Trails_Urban_Natural
-  Creeks
-  Railroads
-  Parcels
-  Golf Fairways
-  Streams
-  Parks

Notes

1,212.1 0 606.06 1,212.1 Feet

NAD_1983_StatePlane_Colorado_Central_FIPS_0502_Feet
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FIGURE 2



September 28, 2015

Ryan Tefertiller, Planning Manager
City of Colorado Springs
Land Use Review Division
30 S. Nevada Ave.
Colorado Springs, CO 80903

Dear Mr. Tefertiller,

The purpose of this letter is to express an opinion by Downtown Partnership regarding a request by N.E.S. Inc. on behalf of the United States Olympic Museum, to be located at the terminus of Vermijo st along Sierra Madre St. The request is for a series of warrants relating to the building envelop, signage, and amenity zone, which we see as no issue given the superior design and catalytic nature of this project.

The eyes of the nation will be on Colorado Springs in 2018 as we proudly open the U.S. Olympic Museum. A catalyst for the revitalization of southwest downtown, the Museum will be a premier cultural destination, drawing people of all ages from near and far to come together in the spirit of the Olympic Games. The museum also will be a community gathering place for outdoor activities, with a large public plaza connecting to America the Beautiful Park through a new a pedestrian bridge, creating a stunning gateway to Downtown Colorado Springs.

In addition to being a premier attraction in the heart of downtown, the world renowned design team that has been assembled has set forth a something that is fully unique and will be a showcase of modern architecture, and will additionally contribute towards the improvement of public space and connectivity within the downtown.

At Downtown Partnership, we are thrilled to see that by 2018, the U.S. Olympic Museum will become a premier cultural destination, welcoming people from near and far to come together in the spirit of the Olympic and Paralympic Games in the heart of Downtown Colorado Springs. We fully support the request and look forward to the exciting day when the museum is able to open and welcome new visitors into the heart of Downtown Colorado Springs.

Sincerely,

Sarah Harris
Director of Business Development & Economic Vitality

Southwest Downtown Urban Renewal Area

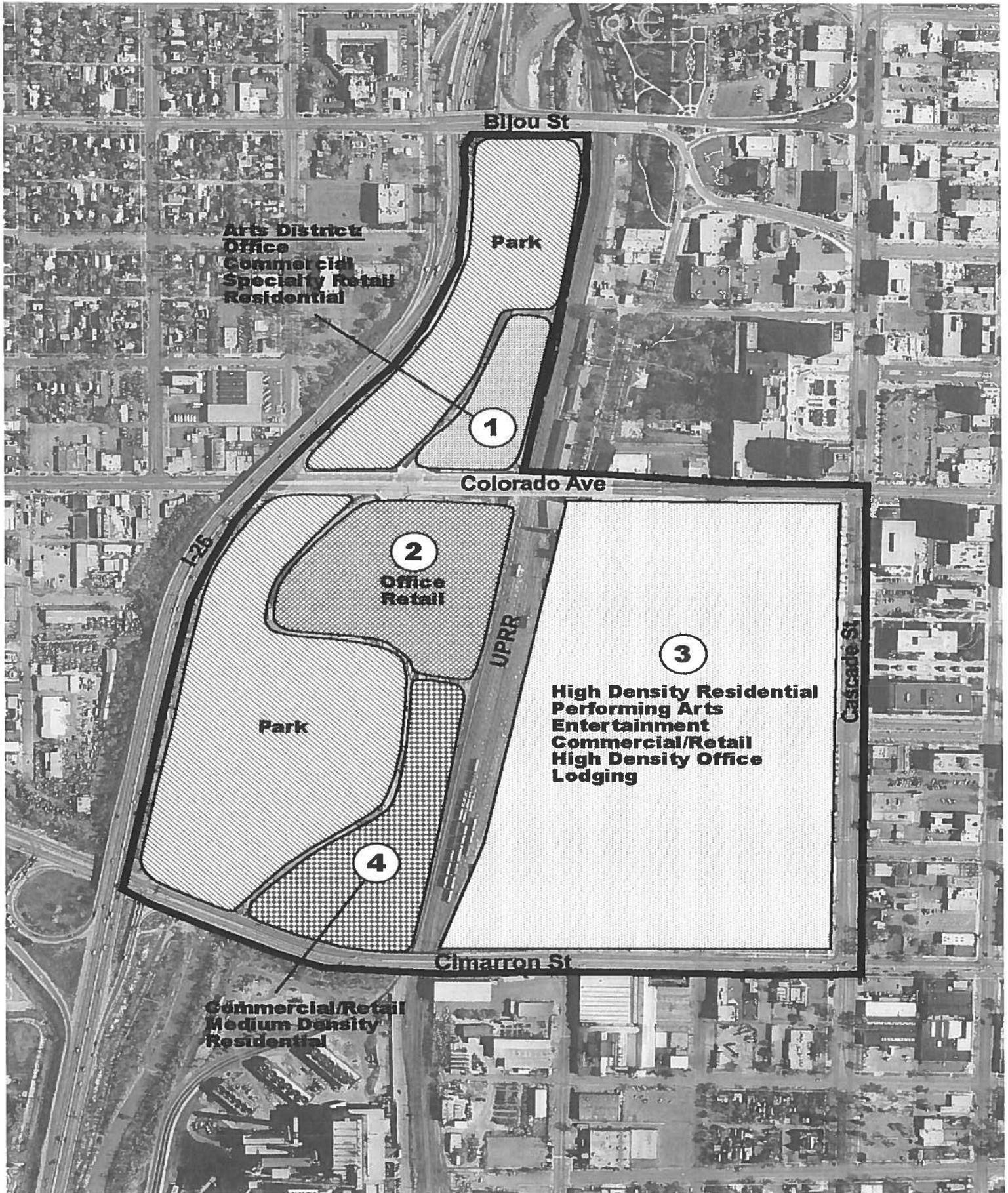
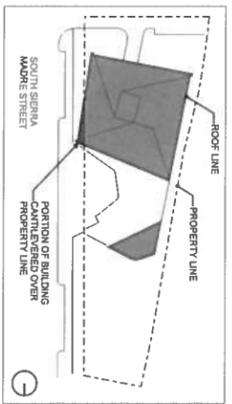


FIGURE 4



MINERAL LEGEND

| | |
|------|-------------------------------------|
| UN | METAL PANEL SYSTEM |
| GL-1 | VISION GLASS |
| GL-2 | SPANDREL GLASS |
| ME | METAL LOUVERS |
| DR | DRY ROOF |
| CON | PORTLAND CEMENT STEEL WALL CONCRETE |
| AS | ASPHALT |
| PA | PAINTED REINFORCED CONCRETE |

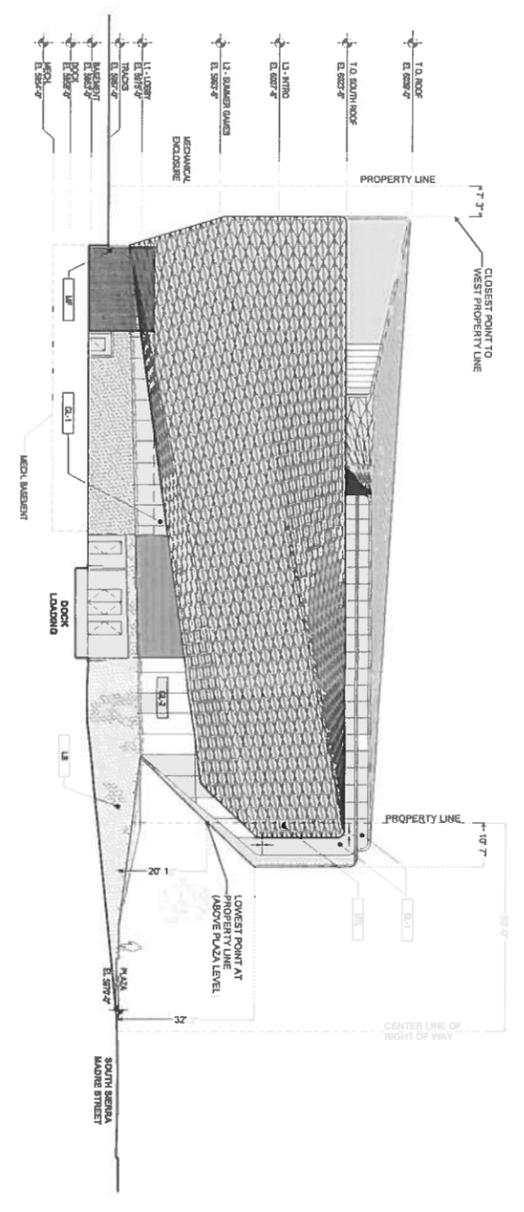
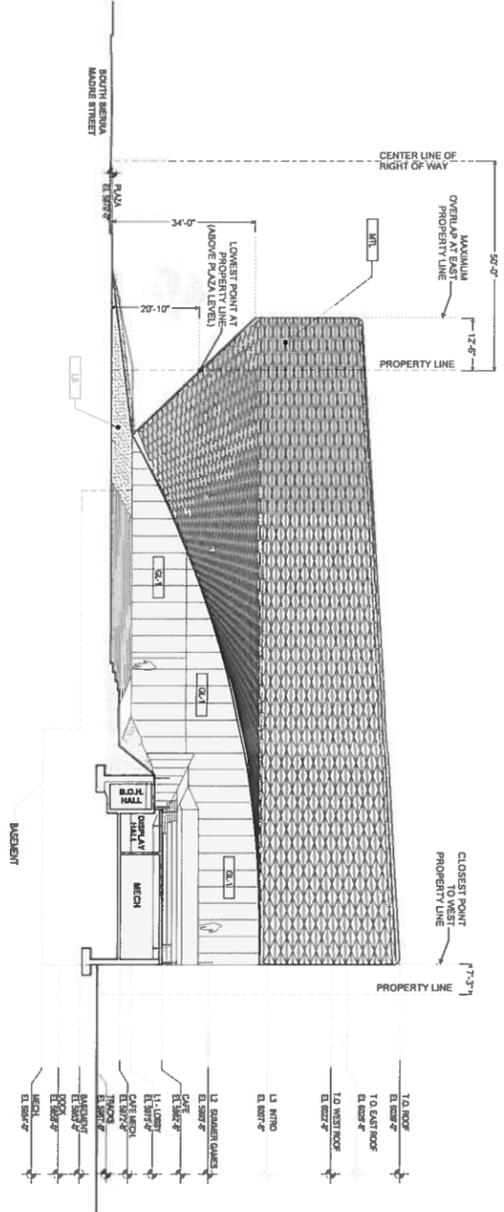


FIGURE 5

CPC DP 15-00094

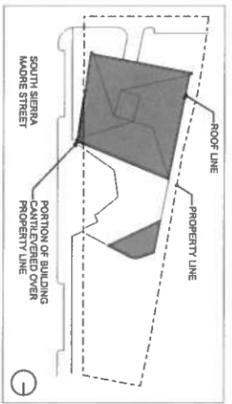
US OLYMPIC MUSEUM

Architect: **DP6**

5 OF 10

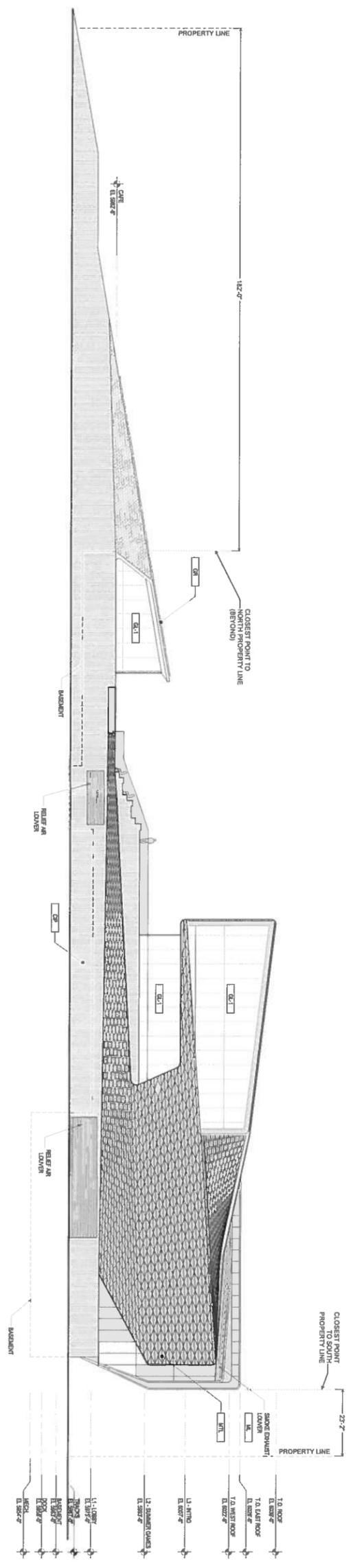
NOT FOR CONSTRUCTION

DATE: 08/14/15
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: [Number]
 TITLE: ELEVATIONS NORTH AND SOUTH
 DRAWING NO.: [Number]

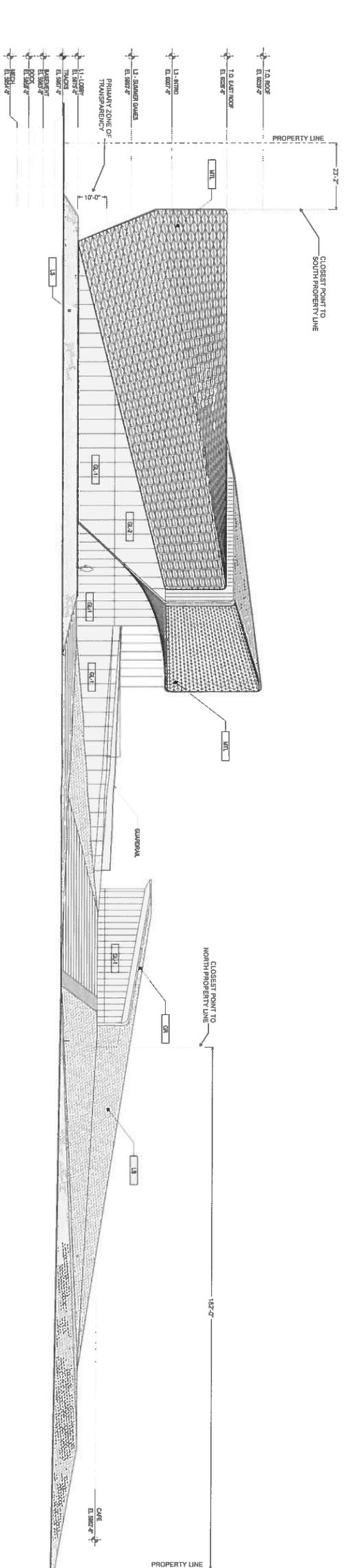


MATERIAL LEGEND

- MTL METAL PANEL SYSTEM
- GL1 VISION GLASS
- GL2 SPANDREL GLASS
- GL3 METAL GLASS
- ML METAL LOUVERS
- GR GREEN ROOF
- CPZ CURT WALL SYSTEM WALL (SPAN CONCRETE)
- LS LANDSCAPE
- PRF PAVED RETAIN WALL



2 WEST ELEVATION



1 EAST ELEVATION

TRANSPARENCY RECOMMENDATION AT GROUND FLOOR PER COMBINED CODE (CORRECTION: 20% LIMIT OF PRIMARY STREET FACADE)
 AREA OF FACADE WITHIN 10' PRIMARY ZONE OF TRANSPARENCY: 1849 S.F.
 AREA OF TRANSPARENCY GLAZING WITHIN 10' ZONE: 821 S.F.
 PERCENTAGE OF TRANSPARENCY WITHIN 10' PRIMARY ZONE OF TRANSPARENCY: 71%

CPC DP 15-00094

FIGURE 5

NOT FOR CONSTRUCTION

DATE: 11/18/2015
 TIME: 11:18 AM
 PROJECT NUMBER: 15-00094
 TITLE: US OLYMPIC MUSEUM EAST AND WEST ELEVATIONS
 DRAWING NO: DP7
 SHEET NO: 7 OF 10

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DRAWN BY: [Name]
 DATE: 11/18/2015

REVISIONS:
 1. 11/18/2015: INITIAL DESIGN
 2. 11/18/2015: REVISIONS

APPROVED BY: [Name]
 DATE: 11/18/2015

NOT FOR CONSTRUCTION

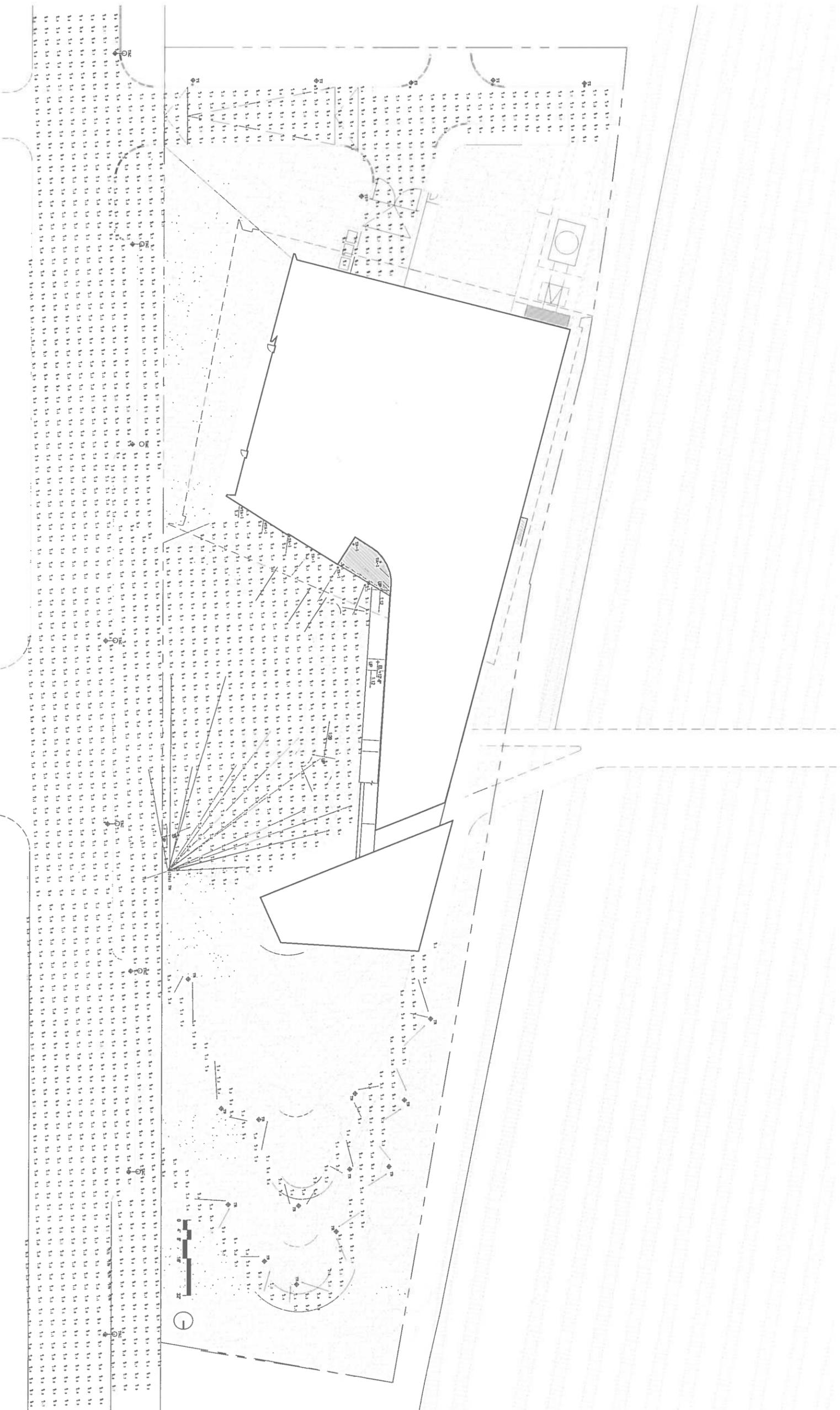


FIGURE 5

CPC DP 15-00094

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING BY **DP8**
 CHECK BY **DP8**
 PROJECT MANAGER **DP8**
 DATE **08/11/2015**

NOT FOR CONSTRUCTION
 DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

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 PROJECT NAME **US OLYMPIC MUSEUM**
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 DATE **08/11/2015**

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 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

DRAWING NO. **DP8**
 SHEET NO. **8 OF 10**
 PROJECT NAME **US OLYMPIC MUSEUM**
 TITLE **LIGHTING PLAN**
 DATE **08/11/2015**

OWNER: U.S. Olympic Committee
 2000 Olympic Plaza, Salt Lake City, UT 84143
 PROJECT NUMBER: CCM 0001
 DATE: 11.18.2003

DESIGNER: Skidmore, OWINGS & MERRILL LLP
 111 West 19th Street, Suite 2000
 Salt Lake City, UT 84111
 PHONE: 313.487.1111
 FAX: 313.487.1111

ARCHITECTURAL DESIGN: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

EXISTING STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

LANDSCAPE ARCHITECT: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
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 DATE: 11.18.2003

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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

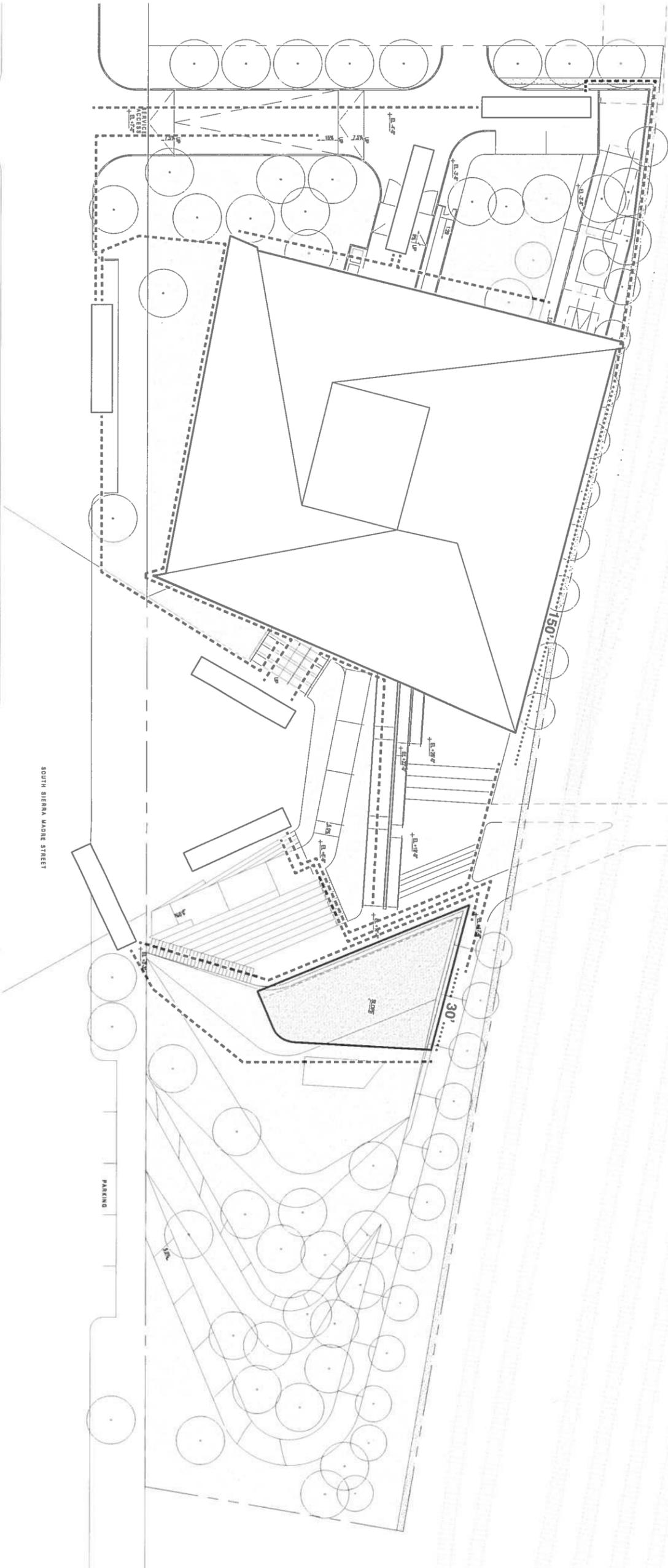
STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

STRUCTURAL ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER: Skidmore, OWINGS & MERRILL LLP
 DATE: 11.18.2003

FIGURE 5



- 3x27 FIRE TRUCK
- - - - - 1.5H HOSE
- HOSE SHUTOFF
- 3H WIDE CRAWLER FIRES FIRE ACCESS TRAIL

CPC DP 15-00094

DATE: 11.18.2003
 DRAWN BY: [Name]
 CHECK BY: [Name]
 PROJECT NUMBER: CCM 0001
 TITLE: FIRE ACCESS DIAGRAM
 DRAWING NO.: DP10
 10 OF 10